# **Criscuolo Engineering, LLC**

Consulting Engineers Civil Engineers Land Surveyors

Robert A. Criscuolo, P.E., L.S. Paul L. Nott, L.S. James M. Pretti, Jr., P.E. Linda C. Dow, P.E.

# MEMORANDUM

То:	Greater New Haven Water Pollution Control Authority
From:	James M. Pretti, Jr., P.E.
Date:	3/28/2016
Re:	Arch Street Pump Station Rehab. Project – Addendum #2
<b>CE File No:</b>	2014.017
cc:	file

In regards to questions set forth in email from The Associated Construction Company dated March 24, 2016, we have the following responses:

Div. 2 – Site work/Demolition

- 1. DI materials are not required to be domestic but are preferred.
- 2. The pumping plan shall be prepared by a qualified professional.
- 3. At this point it should be assumed that delivery of items to be kept by the GNHWPCA will be to the Treatment Plant at 245 East Shore Parkway, New Haven, CT
- 4. The specification 02225.1.01.B lists the items to be kept by the GNHWPCA

Div. 5 – Steel

1. The dehumidifier shelf will be constructed to support the size and weight of the final selection of the dehumidifier. Coordination will be required.

#### Div. 15 – Plumbing

- 1. Requirements for the water heater were stated in Addendum #1
- 2. The  $\frac{1}{2}$ " holes in the stilling well are only required on the bottom 8' of length.
- 3. A sump pump "or equal" to the Water Ace is required and will be reviewed during the submittal process.
- 4. The EZ vent caps are no longer required. All tank vents will be connected by PVC to the passive canister.
- 5. The type of plumbing fixtures were indicated in Addendum #1
- 6. Consult the current plumbing code for required mounting heights and separating distances of plumbing fixtures.
- 7. The unit heater will be a 5KW ceiling mounted electric heater, similar to the existing one on the control room level.

420 East Main Street, Building 1, Suite 9, Branford, CT 06405 Phone (203) 481-0807 Fax (203) 488-5729 e-mail: <u>office@cengineeringllc.com</u>

Records of:

Associated Surveys Charles H, Miller George A. Firth

#### Div. 16 – Electrical

- 1. The existing SCADA Panel will be removed from the existing cabinet and re-installed into the new control cabinet. The existing SCADA cabinet will then be delivered to the GNHWPCA.
- 2. See note #7 above regarding the heater.
- 3. The interior lighting to be used shall be Lithonia VAP LED or approved equal.
- 4. The nomenclature for the Motor Room Level heater that reads: "HVAC PNL-PP8" means that it is part of the heating system and is powered at PP8, which is Power Panel breaker #8.

Question stated in an email from Flow Tech, Inc dated: March 22, 2016:

The existing louvered vents (2) to be removed and replace are approximately 30"x30". Contractor shall verify dimensions prior to ordering units.

Questions stated in an email from Delray Contracting, Inc. dated March 23, 2016:

- 1. The depth of the window well above the discharge piping is approximately 32" from existing grade.
- 2. The GNHWPCA will only pay for materials stored on site either within the station or within a locked storage container located within the fenced in Arch Street secured property. The contractor is responsible to supply such a storage container if so desired. The GNHWPCA is not responsible for lost, damaged or stolen stored equipment or materials.
- 3. There has not been an extensive hazardous materials survey performed. There is an allowance for the testing and removal of asbestos. Other pump stations similar to Arch Street have had small amounts of material that needed to be removed. For example: original wiring sheathings and caulking between the concrete sidewalk and building.
- 4. The removal of hazardous material will be paid under the allowance stated above.
- 5. The depth of the 4" PVC vent piping varies as the pipe should pitch away from the passive canister. The approximate depth is 12-24" and the pipe shall be bedded in <sup>3</sup>/<sub>4</sub>" crushed stone.
- 6. In Section 102-16-#8 The paragraph the begins: "The maintenance and protection of vehicular..." shall be deleted.
- 7. The previously asked questions are attached herein.
- 8. Do not count on surcharging the incoming effluent pipes.
- 9. The Tideflex check valves should be a 12" dia. Tideflex Checkmate style. Once the wetwell is cleaned the contractor shall verify the actual opening dimension and coordinate proper size valve.

Other items to be noted:

Drawing #A101 - All concrete sidewalks are to be replaced with the addition of some other small areas. See attached sketch.

Specification Corrections:

Section #11300-4.02.K – The space for the existing SCADA equipment shall be 24"x24"

Section #11300-5.03- 3" PVC should read 6" D.I. Pipe

Section #11300-5.07 – The existing pressure transducer junction box shall be relocated outside.

Section #13420-3.05.A – The sentence that reads: "The services under the maintenance contract will take place at the plant site." should read: "The services under the maintenance contract will take place at the Arch Street Pump Station.

Section #16490-2.02.D – The space for the existing SCADA equipment shall be 24"x24".

The existing Antenna Cable will not reach the new location, therefore the existing cable will need to be removed and replaced with a single run, no splices are allowed.

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THE ASSOCIATED CONSTRUCTION COMPANY GENERAL CONTRACTORS / CONSTRUCTION MANAGERS 1010 WETHERSFIELD AVENUE, SUITE 304 / HARTFORD, CT 06114

Request for Information #2

Date: March 24, 2016

To:	Tom Sgroi
Company:	GNHWA
Phone#:	203-466-5280
Fax#:	203-466-5286
From:	Michael Kirdzik, Estimator
Project:	Arch Street Pump Station Rehabilitation Project
	151 Arch Street
	Hamden, CT
# of pages:	including cover page

#### **RE:** Request for Information

Dear Mr Sgroi,

Please respond to the following questions as soon as possible:

Div. 2 – Site work/Demolition:

- 1. Specifications do not mention if DI material needs to be domestic or if an AIS job. Please advise.
- 2. Is a PE stamp required for the by-pass pumping system?
- 3. Specification section 02225 Selective Demolition 1.01 B states that specified items will remain the property of GNHWPCA and shall be delivered to a location to be determined. Where is the location?
- 4. Please provide an exact list of owner kept items.

#### Div. 5 - Steel:

1. Please provide the stainless steel shelf requirements for the for the dehumidifier on drawing A-107 (Gauge thickness, length, width, height, and sections).

#### Div. 15 - Plumbing:

- 1. Please provide a Spec on the tankless water heater (Manufacture and model number).
- 2. The still well notes on drawing A113 shows ½" holes drilled every 6" throughout the entire length of pipe. Is this required?
- 3. Sump pump Water Ace RS3 is no longer available. Please specify a new make and model.
- 4. Drawing A101 indicates a new PVC vent system tied into a Carbtrol passive canister. Drawing A106 indicates that we are to install vent caps by EZ Vent. It is our understanding that you can only install one or the other. Please confirm system design and if EZ Vents are required? Please provide model numbers.
- 5. Please provide model number for the new plumbing fixtures (toilet, sink, hot water heater?
- 6. Please provide architectural details for wall mounted plumbing fixtures.

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7. Please provide make and model for the existing unit heater.

Div. 15 - HVAC:

1. In regards to the sump pump Water ACE RS3 that is listed in the memo dated 3/15/16 does not exist. Please clarify.

Div. 16 - Electrical:

- 1. On Drawing A-102 the existing SCADA cabinet is noted to be removed, on A-111 electrical demo drawing it says the SCADA Panel is to be delivered to the owner, but in spec section 16005-3 part 1.04 sub section says "the existing ...... SCADA systems panels are to remain" Do we remove it and replace it or keep the existing SCADA system and cabinet and reuse it and you the owner update the software?
- 2. Please provide the part number and manufacturer for the new heater to be installed.
- 3. On DWG A-113 Note 10 says to replace existing lighting fixture with new led fixtures. Please specify the model number and manufacture associated with the fixture.
- 4. On DWG A-113 in the motor room detail there is lettering HVAC PLN-PP8, Please specify the meaning to the abbreviation.

Please call with any questions.

Thank you,

Michael Kirdzik Estimator

## **Jim Pretti**

From: Sent: To: Subject: Bridget Buckley <BBuckley@gnhwpca.com> Tuesday, March 22, 2016 4:14 PM Tom Sgroi; Jim Pretti FW: Arch Street Pump Station Rehabilitation SSF 2015-04

From: Mike Davis [mailto:mdavis@flowtechinc.com]
Sent: Tuesday, March 22, 2016 4:11 PM
To: Engineering
Subject: Arch Street Pump Station Rehabilitation SSF 2015-04

Please reference drawings A106 and A110 and showing the two (2) existing vents to be removed and replaced. Please provide a size (width and height) for each of the new replacement vents.

:

Thank you,

Michael O. Davis, PE, LEED Green Associate

Flow Tech

Flow Tech, Inc. 10 Bidwell Road | South Windsor, CT 06074 D: (860) 221.0887 | C: (860) 685.0062 O: (860) 291.8886 x 127 | F: (860) 291.9908 mdavis@FlowTechInc.com | www.FlowTechInc.com Affirmative Action/EOE



#### Jim Pretti

From: Sent: To: Subject: Bridget Buckley <BBuckley@gnhwpca.com> Wednesday, March 23, 2016 10:47 AM Tom Sgroi; Jim Pretti FW: Arch St Pump Station NO.: SSF 2015-04 RFI's

From: Nate Carlson [mailto:ncarlson@delrayinc.com]
Sent: Wednesday, March 23, 2016 10:40 AM
To: Engineering
Subject: Arch St Pump Station NO.: SSF 2015-04 RFI's

Please see RFI's below for the above mentioned project.

- 1 What is the depth of the window well above the new discharge piping that we have to excavate under?
- 2 Will the Owner pay for stored materials?
- 3 Has there been an extensive hazardous materials survey? If no, should the GC carry these costs in our base bid?
- 4 Is the GC responsible to remove all noted hazardous materials or only those impacted by new work? Should this be
- 5 What is the depth of the proposed new 4" PVC Header? Is there a trench detail?
- 6 in reference to section 102-16 #8 it makes reference to maintaining vehicular and pedestrian access to the adjacen
- 7 Can you include the previously asked questions from addendum #1?
- 8 How much can we surcharge the 8" and 15" influent lines?
- 9 Is there a specification for the tideflex check valves?

NATE CARLSON

lebray contracting, inc.



www.delrayinc.com p. 860.870.8100 c. 860.558.4251 f. 860.870.9554



THE ASSOCIATED CONSTRUCTION COMPANY GENERAL CONTRACTORS / CONSTRUCTION MANAGERS 1010 WETHERSFIELD AVENUE, SUITE 304 / HARTFORD, CT 06114

Request for Information #1

Date: March 9, 2016

To:	GREATER NEW HAVEN WATER POLLUTION CONTROL AUTHORITY
Phone#:	203-466-5280
Fax#:	203-466-5286
From:	Michael Kirdzik, Estimator
Project:	Arch Street Pump Station Rehabilitation Project
	151 Arch Street
	Hamden, CT
# of pages:	2 including cover page

**RE:** Request for Information

Dear Sir/Madame,

Please respond to the following questions as soon as possible:

**Div 1 – General Requirements:** 

- 1. Please confirm as per specification section 102-16, 2. A all bidders are to include the cost of the building permit in their bid.
- 2. The bidder's checklist item mentions #1 Itemized Bid Proposal and #3 Bidders Qualification form. Please provide these forms.
- **3.** Is there a specified Bid Bond form required or shall we assume the standard AIA bid form is acceptable?
- 4. Specification section 102-16, 9 indicates sections 02535 and 07620 however these sections are missing from the specifications. Please provide
- 5. Under Insurance Section 107-6010, Termination or Change of Insurance "The words "endeavor to" and "but failure to mail such notice shall impose no obligation or any liability of any kind upon the company, its agents or representatives" shall be deleted from the certificate form's cancellation provision." Our insurance carrier stated they are not allowed to delete this wording. Please advise.
- Div. 2 Site work/Demolition:
  - 1. There are significant costs with regards to cleaning out the existing sludge in the wet wells.
    - a. When were the existing wet wells last cleaned?
    - b. Will the water be drained out?
    - c. Will only sludge need to be removed?
    - d. How much sludge is estimated to be in the wet wells?
- Div. 5 Steel:
  - 1. What is the finish for the new steel ladder and gate (painted or galvanized)?
- Div. 7 Thermal and Moisture:
  - 1. Drawing A106 indicates a new 48" x 84" water tight locking aluminum hatch. Please provide specifications for this new wet well hatch:

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- a. Make and model number?
- b. Type of finish required (i.e. mill finish)?
- c. What type of loading is required?
- d. What type of hardware?
- e. Is safety grating needed?
- 2. Drawing A106 indicates a ceiling hatch. Please provide specifications for this 2'x2' hatch in ceiling for attic access.

.....

Please call with any questions.

Thank you,

Michael Kirdzik Estimator



March 9, 2016

Greater New Haven Water Pollution Control Authority 260 East Street New Haven, CT, 06511

Attn: Engineering Dept. engineering@gnhwpca.com

Re: Arch Street Pump Station Rehabilitation Project Hamden, CT Q-1234

### **Request for Information #1**

Dear Sir:

We have the following questions regarding the Arch Street Pump Station Rehabilitation Project bid:

- 1. Since the property line extends into the parking lot area of 173 Arch Street, as shown on drawing A101. Will the owners of the properties allow us use of the parking area and access into the site?
- 2. Is the town of Hamden waiving the building permit fees for the project?
- 3. Since part of the project is to provide a new electrical service to the pump station, can a line item be added to the bid form for the cost of the utility company's service connection fees?
- 4. Is the contractor responsible to clean out the existing pump station wet well? Have the owners cleaned the wet well in the past few years? Can we dispose of the material from the wet well at the WWTP without paying fees?
- 5. Is the contractor responsible to clean out all three of the existing pump station storm surge tanks? Have the owners cleaned the wet well in the past few years? Can we dispose of the material from the wet well at the WWTP without paying fees? Since the amount of sedimentation in the tanks is not known, can a line item be added to the bid form for sedimentation disposal?
- 6. Since there is excavation required on top of the existing storm surge tanks, is there any weight restriction for equipment on top of the tank? Are there any backfill material restrictions for excavation materials on top of the tank?
- 7. On specification section 102-10, subsection 2 D Scope of Work. Item # 1 notes to clean all existing brick surfaces and to waterproof. This is not noted in any other location in the specification or drawings. Is this work required? If this is required work, can you provide us with a specification on the waterproofing material?
- 8. The existing motor room floor and walls are painted. Do we have to remove the existing paint before we install the new sloped concrete floor as shown on drawings A109 & A107? Does the existing paint have lead in it? Is there a Page 1 of 2

**GENERAL CONTRACTOR** 297 White Street, Danbury, CT 06810 Tel: (203) 743-4022 • Fax: (203) 790-1326 specified bonding agent required to bond the new concrete to the existing floor?

- 9. On Drawing A107, a new sink, toilet and water heater is shown on the motor level of the existing pump station. Can we be provided with a manufacturer, model number and specification on the sink, toilet and water heater? Can we be provided with a plumbing schematic and drawing for the plumbing to the new bathroom? Where is the new electrical water heater mounted? There is no electrical wiring shown on the electrical drawings for the new water heater.
- 10. The new carbon air purification unit shown on drawing A101 requires electrical power. The electrical drawings show no power wiring for the unit. Are we using an existing electrical outlet to power the unit?
- 11. On drawing A107, a new sump pump is shown. Can we be provided with a manufacturer, model number and specification on the pump?
- 12. On drawing A107, a new dehumidifier is shown. Can we be provided with a manufacturer, model number and specification on the new dehumidifier?
- 13. On drawing A107, a new fixed pane window is noted. How many window assemblies get replaced? Can we be provided with a manufacturer, model number, size and specification on the new window?
- 14. On drawing A102, the existing electrical heater is noted to remain, but on drawing A111 it is noted to replace with new unit. Please clarify. Can we be provided with a manufacturer, model number and specification on the electrical heaters?
- 15. On drawing A112, there is a dry well ventilation system control schematic shown on the drawing. Is this an existing system? There is no exhaust fan shown on the drawings, is the exhaust fan existing?
- 16. On drawing A109, one pressure gauge assembly is shown. How many pressure gauge assemblies are required?
- 17. What material is required for pipe supports and hardware located inside wet well?
- 18. The existing chain link fence is topped with barbed wire, and it has a gate for the sidewalk to the station. Is the gate and barbed wire required for the new fence? Can a specification be provided for the chain link fence and gate?
- 19. On page 102-16-4, the specification note section 07620, Sheet Metal Flashing is part of the specification, but our specification book is missing that section. Can we be provided with that specification section?
- 20. In the specification 13420, subsection 2.01, the specification describes a remote mounted transmitter and it is to be mounted in a Nema 4X enclosure, yet on drawing A113 (motor room level detail,) it states that the new flow transmitters go to a new metering digital panel on the control room level. Are the flow transmitters to be integral on the flow tube, and a new digital display panel will be furnished with digital panel meters on the control room level? If so, what is the digital display meter to be used for?

Very truly yours,

KOVACS CONSTRUCTION CORPORATION David Allen David Allen

Page 2 of 2

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